

**CITY OF LEBANON
APPLICATION FOR VARIANCE
STATEMENT OF INTENT**

Docket # _____

This application and all accompanying information must be completed and filed in the City of Lebanon Planning & Zoning Office not less than 15 days prior to the regular meeting of the City Board of Zoning Appeals.

1. **Applicant:** Name Sunbelt Rentals, Inc. Phone # 317-446-8958

Address 540 Ransdell Road, Lebanon, IN 46052

E-Mail Address: austin.bogardus@sunbeltrentals.com

2. **Property Owner:** Name Ransdell Properties, LLC Phone # 317-903-9602

Address 6361 Central Blvd, Whitestown, IN 46075

E-Mail Address: keith@laminqueinc.com

3. **Applicants agent, attorney or other contact (if any):**

Name J. Murray Clark Phone # 317-237-0300

Address 300 N. Meridian St, Suite 2500, Indianapolis, IN 46204

E-Mail Address: murray.clark@faegredrinker.com

4. **Subject Property:**

Street or road #/ address of subject property: 540 Ransdell Road, Lebanon, IN

Zoning Classification of Property: General Industrial (1D)

Legal Description of property (attach sheet) See attached

Size of property (dimensions and /or acreage): 1.772 +/- acres

Current use of property: Sunbelt rental of Load Bank equipment & related services

Comprehensive Plan Designation: Industrial

5. **Requested Variance** (provide a detailed description of variances requested): Variance of

Interstate Overlay District to permit limited outdoor storage

6. **Site Survey:** Attach a survey of the property drawn to scale showing the dimensions of the property, all required setbacks, and the size and location of all existing and proposed buildings and other improvements, including but not limited to those involving the requested variances...

I affirm that the information contained in the application and its supplements is true and correct.

Date 12/13/22 Signature J. Murray Clark, attorney for Applicant

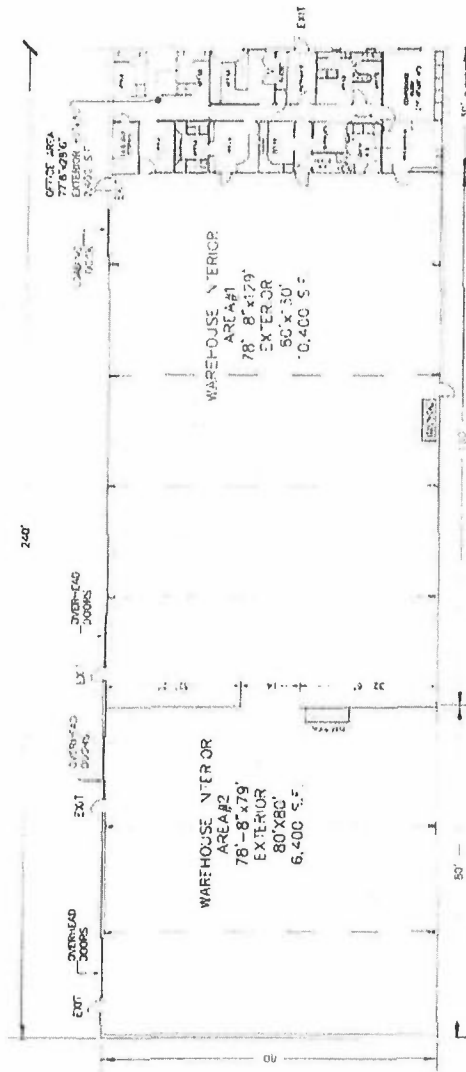
EXHIBIT A

LOCATION OF PREMISES

540 Ransdell Road, Lebanon, IN 46052 with the legal description of:

Lot Numbered Sixteen (16) in Ransdell Industrial Park located in Lebanon, Boone County, Indiana, as shown on the Plat thereof located in the office of the Recorded of Boone County, Indiana in Plat Record 3, page 146

Building Floor Plan:



FLOOR PLAN
19,200 S.F.

VARIANCE FROM DEVELOPMENT STANDARDS

PROPOSED FINDINGS OF FACT

Pursuant to state statute and the Lebanon Unified Development Ordinance, the Board of Zoning Appeals must find that each of the following conditions is satisfied in order to grant a variance from the development standards in the Ordinance. It is your burden to demonstrate that each of these factors is satisfied. In the space provided, please indicate how you believe the facts or circumstances in your case satisfy each factor.
Attach additional sheets if needed.

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Outdoor storage will be temporary by nature and appropriately screened with a privacy fence and appropriate evergreen plantings.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Adjacent properties in the Ransdell Industrial Park will realize little if any impact from the limited outdoor storage proposed due to appropriate screening. Also, outdoor storage occurs elsewhere in the industrial park.

3. The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property.

While customer traffic to the site will be largely non-existent, the nature of the Load Bank operation requires temporary storage while Load Bank equipment awaits post-rental testing and, thereafter, customer rental turnover.

AFFIDAVIT AND CONSENT OF PROPERTY OWNER

If the owner(s) of the subject is/are giving authorization for someone else to apply for the variance, this Affidavit must be completed and signed by the owner(s), and submitted with the Application.

I (we) Ransdell Properties, LLC, being duly sworn, state as follows:

1. I am a competent adult, over 21 years of age, and have personal knowledge of the matters stated in this affidavit.
2. I (we) am (are) the owner(s) of the property commonly known or legally described as 540 Ransdell Road, Lebanon, IN 46052 (Lot Numbered Sixteen [16] in Ransdell Industrial Park located in Lebanon, Indiana)
3. I (we) are aware of the variance requested by Sunbelt Rentals, Inc. relating to my property, and I (we) authorize the applicant to seek this variance.

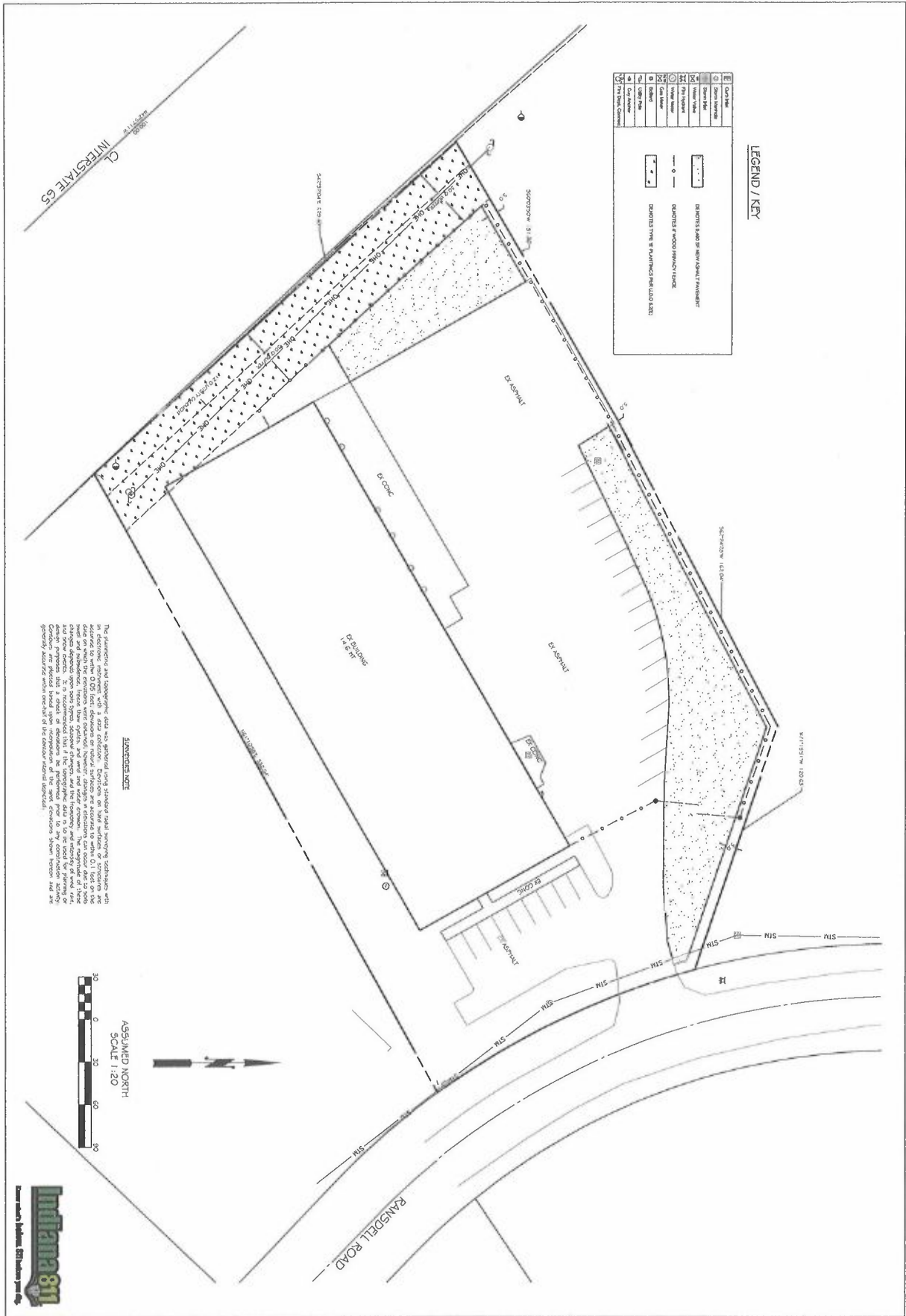
I affirm under the penalties of perjury that the foregoing statements are true and correct.

Bob Brown, Member/owner
Signature Bob Brown

12/13/22
Date

Signature

Date



DATE: 12-11-2022
SHEET 1 OF 1

**SITE PLAN
LOT 16 RANSDALL PARK
LEBANON, INDIANA**

Prepared For:
SUNBELT RENTALS

REVISIONS:
DATE: 12/12/2022
DRAWN BY: CAP
CHECKED BY: JTB
DATE: 12/12/2022
FILE NAME: 2022001/001/001/001

Solomon Consulting
525 E HOWERS STREET
INDIANAPOLIS, INDIANA 46203
jsolomon@solomonconsulting.com