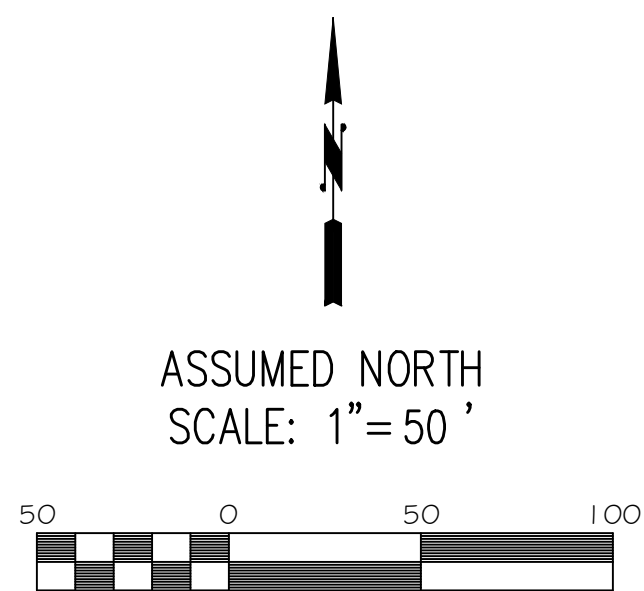
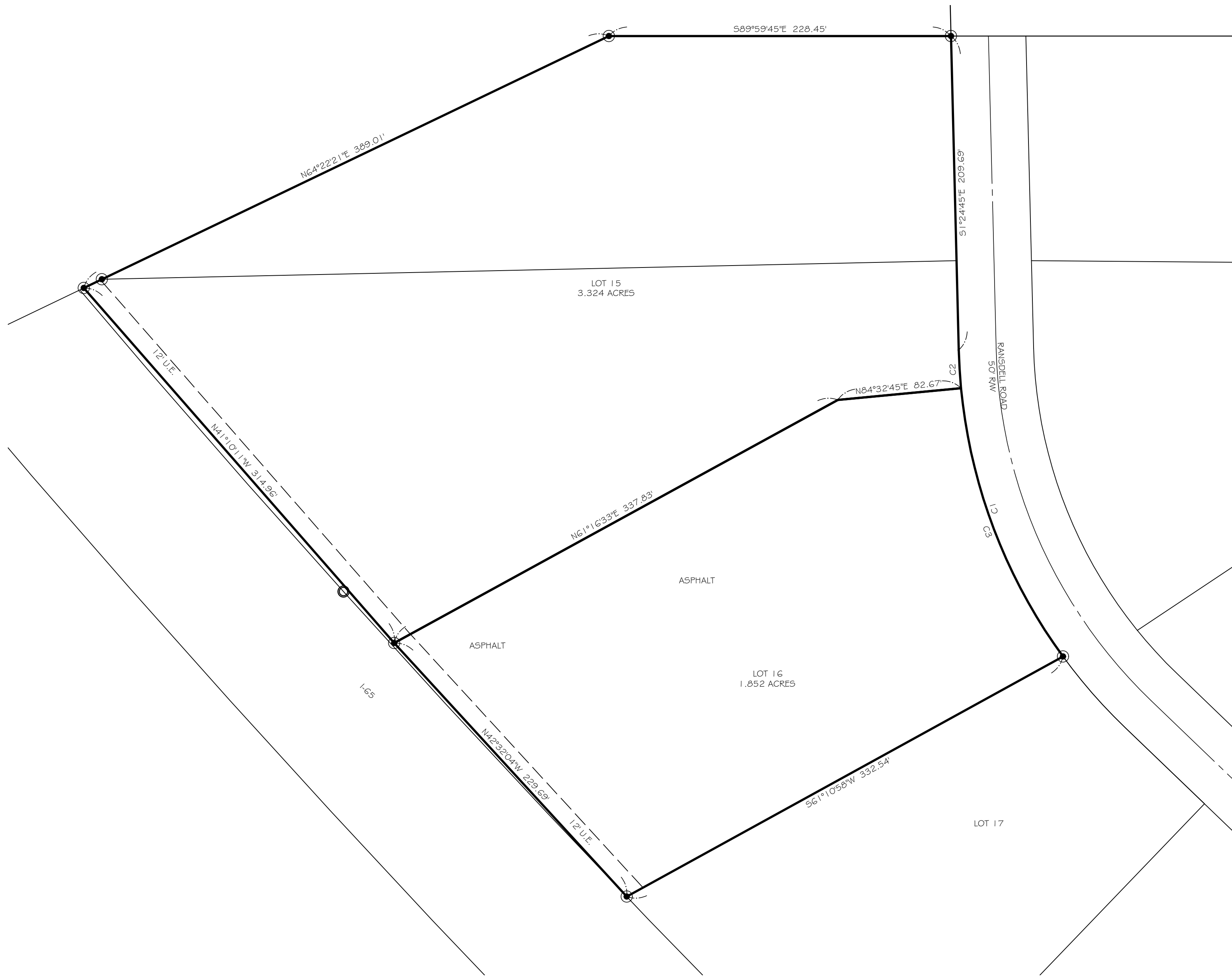


RE-PLAT RANDSDELL PARK LOTS 14, 15 & 16



LEGEND	
	Iron Pin Found
	Capped Rebar Set (30" long)
R/W	Right-of-Way
BSL	Building Setback Line
D & UE	Drainage & Utility Easement
UE	Utility Easement
DE	Drainage Easement

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C3	193.99	362.00	30.70	S20° 48' 21" E	191.67
C2	25.54	362.00	4.04	S3° 26' 00" E	25.53
C1	219.52	362.00	34.75	S18° 47' 06" E	216.18



SOLOMON CONSULTING
525 EAST MORRIS STREET
INDIANAPOLIS, IN 46203
(317) 590-0658

RE-PLAT RANDSDELL PARK LOTS 14, 15 & 16

OWNER'S CERTIFICATE:

WE, THE UNDERSIGNED, _____ REPRESENTING RANDSELL PROPERTIES LLC, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE, SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT.

THE SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS RE-PLAT RANDSDELL PARK LOTS 14, 15 & 16, CONSISTING OF 2 LOTS, LOT 15 AND 16 AND CONTAINING 5.176 ACRES. LOT 14, 15 & 16 IN "RANDSDELL PARK" (PLAT RECORD 3, PAGE 146) IS HEREBY VACATED BY THIS PLAT.

ALL STREETS AND ALLEYS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC. OTHER PUBLIC LANDS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY RESERVED FOR PUBLIC USE.

THE ACCESS EASEMENTS SHOWN ON THIS PLAT ARE CONSIDERED PRIVATE. THE RESPONSIBILITY FOR MAINTENANCE AND SNOW REMOVAL SHALL BE ASSUMED BY THE PROPERTY OWNERS AND NOT BY THE CITY.

CLEAR TITLE TO THE LAND CONTAINED IN THIS PLAT IS GUARANTEED. (ANY ENCUMBRANCES AND SPECIAL ASSESSMENTS ARE EXPLAINED AS FOLLOWS):

THE SETBACK LINES SHALL BE DETERMINED BY THE REGULATIONS OF THE LEBANON, INDIANA ZONING ORDINANCE OF CURRENT ADOPTION.

THERE ARE STRIPS OF GROUND SHOWN ON THIS PLAT AND MARKED EASEMENT, RESERVED FOR THE USE OF PUBLIC UTILITIES AND SUBJECT TO THE PARAMOUNT RIGHT OF THE UTILITY OR CITY TO INSTALL, REPAIR, MAINTAIN OR REPLACE ITS INSTALLATION.

ALL DRAINAGE EASEMENTS IDENTIFIED ON THE PLAT ARE SPECIFICALLY AUTHORIZED TO BE USED FOR DRAINAGE PURPOSES. ALL GRADES SHALL BE MAINTAINED AS CONSTRUCTED. ADDITIONAL CUT AND FILL WORK WITHIN DRAINAGE EASEMENT AREAS IS PROHIBITED UNLESS AUTHORIZED BY THE ENGINEERING DEPARTMENT.

THIS SUBDIVISION DOES NOT CONTAIN PROPERTY INCLUDED IN THE MAPPED FLOODPLAIN ON THE NATIONAL FLOOD INSURANCE RATE MAP - PANEL NUMBER 18011 C 0186 E, DATED JANUARY 18, 2012. ALL CONSTRUCTION, FILLING, GRADING OR ALTERATION OF THE MAPPED FLOODPLAIN SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS IN THE LEBANON & BOONE COUNTY, INDIANA ZONING ORDINANCE AS PERIODICALLY AMENDED.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 2023.

PRINTED NAME _____

REPRESENTING
RANDSELL PROPERTIES LLC

COUNTY OF _____

STATE OF _____

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY APPEARED WILLIAM PARKS AND EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC _____

PRIMARY APPROVAL:

THIS PLAT RECEIVED PRIMARY APPROVAL FROM THE CITY OF LEBANON PLAN COMMISSION AT THE MEETING HELD _____, 20____.

SECONDARY APPROVAL:

ALL CONDITIONS OF PRIMARY APPROVAL HAVE BEEN MET AND THIS PLAT IS GRANTED

SECONDARY APPROVAL, APPROVED BY THE PLANNING DEPARTMENT _____.

PLANNING DIRECTOR _____

VOID UNLESS RECORDED BY _____

TAX CERTIFICATE:

THE REAL PROPERTY HAS BEEN DULY ENTERED FOR TAXATION AND TRANSFERRED ON THE RECORDS OF THE AUDITOR OF BOONE COUNTY.

THIS _____ DAY OF _____, 2023.

BOONE COUNTY AUDITOR _____

RECORDING NOTATIONS:

(A) RECORDING IS HEREBY AUTHORIZED BY THE OWNERS: _____

(B) ENTERED FOR TAXATION THIS _____ DAY OF _____, 2023.

(C) RECORDED IN PLAT BOOK _____, PAGE NUMBER _____, THIS THE _____ DAY OF _____, AT _____ O'CLOCK, INSTRUMENT NO. _____ FEE PAID.

DEBBIE OTTINGER,
RECORDER, BOONE COUNTY.

(D) COPY OF PLAT RECEIVED BY _____
JENNIFER LASLEY,
ASSESSOR, BOONE COUNTY.

LEGAL DESCRIPTION:

LOTS NUMBERED FOURTEEN (14), FIFTEEN (15) AND SIXTEEN (16) IN RANDSELL INDUSTRIAL PARK LOCATED IN LEBANON, BOONE COUNTY, INDIANA, AS PER PLAT THEREOF RECORDED IN PLAT RECORD 3, PAGE 146 IN THE OFFICE OF THE RECORDER OF BOONE COUNTY, INDIANA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

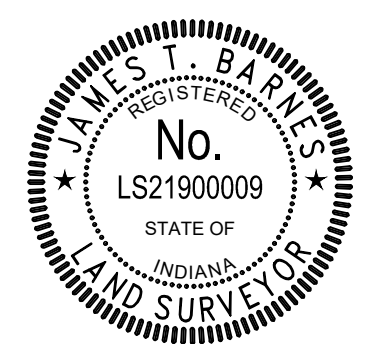
BEGINNING AT THE NORTHEAST CORNER OF LOT 14 IN RANDSELL PARK; THENCE SOUTH 01 DEGREES 24 MINUTES 45 SECONDS EAST (ASSUMED BEARING) 209.69 FEET TO A POINT OF TANGENTIAL CURVE; THENCE SOUTHEASTERLY ALONG SAID CURVE A DISTANCE OF 219.52 FEET, THE CHORD OF WHICH BEARS SOUTH 18 DEGREES 47 MINUTES 06 SECONDS EAST A CHORD DISTANCE OF 216.18 FEET TO THE SOUTHEAST CORNER OF LOT 16; THENCE SOUTH 61 DEGREES 10 MINUTES 58 SECONDS WEST ALONG THE SOUTH LINE OF LOT 16, 332.54 FEET TO THE SOUTHWEST CORNER OF SAID LOT 16. SAID POINT ALSO BEING ON THE EAST RIGHT-OF-WAY OF I-65; THENCE NORTH 42 DEGREES 32 MINUTES 04 SECONDS ALONG SAID EAST RIGHT-OF-WAY 229.69 FEET; THENCE NORTH 41 DEGREES 10 MINUTES 11 SECONDS WEST ALONG SAID EAST RIGHT-OF-WAY 314.96 FEET TO THE NORTHWEST CORNER OF LOT 15; THENCE NORTH 84 DEGREES 22 MINUTES 21 SECONDS EAST 389.01 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 45 SECONDS EAST ALONG THE NORTH LINE OF LOT 14, A DISTANCE OF 228.45 FEET TO THE POINT OF BEGINNING, CONTAINING 5.176 ACRES, MORE OR LESS.

SURVEYOR CERTIFICATE:

I, JAMES T. BARNES HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAT CORRECTLY REPRESENTS A SURVEY COMPLETED BY ME, OR UNDER MY DIRECT SUPERVISION, ON _____, THAT ANY CHANGES FROM THE DESCRIPTION APPEARING ON THE LAST RECORD TRANSFER OF THE LAND CONTAINED IN THE FINAL PLAT ARE SO INDICATED; THAT ALL MONUMENTS SHOWN THEREON ACTUALLY EXIST OR WILL BE INSTALLED (BEFORE THE RELEASE OF THE FINANCIAL GUARANTEES) AND THEIR POSITION IS CORRECTLY SHOWN, AND, THAT ALL DIMENSIONAL AND GEODETIC DATA ARE CORRECT.

I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. JAMES T. BARNES, PLS

JAMES T. BARNES, PLS #21900009



SOLOMON CONSULTING
525 EAST MORRIS STREET
INDIANAPOLIS, IN 46203
(317) 590-0658