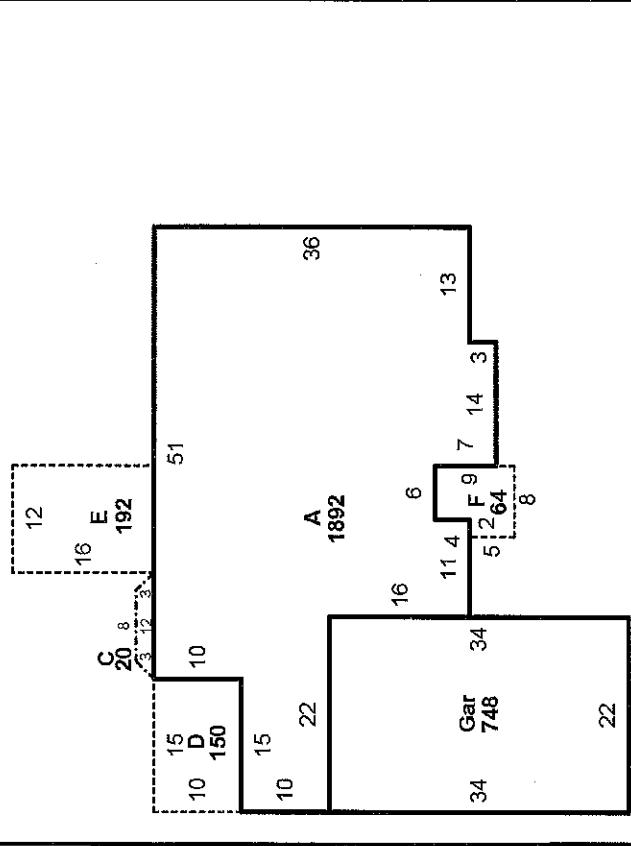


Value Adjustment / Exterior Features

Value Adjustments
 Exterior Features
 Patio- Flagstone or brick- At - 1 - 192sf - 2700
 Porch- Open Frm/ equal- 1st fl - 1 - 150sf - 6400
 Porch- Open Frm/ equal- 1st fl - 1 - 64sf - 4100
 Extended bay- 1st flr - 1 - 20sf - 2400

Parcel Number 022-05040-01 Residential Card 1



A) 1sBr 1892/B 1892- Gar)GBr(3c) 748 C)Bay 20 D)OPF 150 E)Br-G 192 F)OPF 64

Occupancy	Story Height	Attic	Bsmnt	Crawl
1 <input checked="" type="checkbox"/> Single Family	1.00	0 <input checked="" type="checkbox"/> None	0 <input checked="" type="checkbox"/> None	0 <input checked="" type="checkbox"/> None
2 <input type="checkbox"/> Duplex		1 <input type="checkbox"/> Unfin	1 <input type="checkbox"/> 1/4	1 <input type="checkbox"/> 1/4
3 <input type="checkbox"/> Triplex		2 <input type="checkbox"/> Other	2 <input type="checkbox"/> 1/2	2 <input type="checkbox"/> 1/2
4 <input type="checkbox"/> 4-6 Family		3 <input type="checkbox"/> BI-level	3 <input type="checkbox"/> 3/4	3 <input type="checkbox"/> 3/4
5 <input type="checkbox"/> M home		4 <input type="checkbox"/> Tri-level	4 <input type="checkbox"/> Full	4 <input type="checkbox"/> Full
0 <input type="checkbox"/> Row Type				

Construction	Base Area	Floor	Fin.Liv.Area	Value
1 Frame or Alum.	1,892	1.00	1,892	133,200
2 Sluoco				
3 Tile				
4 Concrete Block				
5 Metal				
6 Concrete				
7 Brick				
8 Stone				
9 Frame w/Masonry				

Roofing	Value
<input checked="" type="checkbox"/> Asphalt Shingles	
<input type="checkbox"/> Slate or Tile	
<input type="checkbox"/> Metal	
<input type="checkbox"/> Wood	
<input type="checkbox"/> Parquet	
<input type="checkbox"/> Carpet	
<input type="checkbox"/> Linoleum	
<input type="checkbox"/> Unfinished	

Floors	Value
<input type="checkbox"/> Earth	
<input type="checkbox"/> Slab	
<input checked="" type="checkbox"/> Sub & Joists	173,500
<input type="checkbox"/> Wood	
<input type="checkbox"/> Parquet	
<input type="checkbox"/> Tile	
<input checked="" type="checkbox"/> Carpet	4,700
<input type="checkbox"/> Linoleum	
<input type="checkbox"/> Unfinished	

Interior Finish	Value
<input checked="" type="checkbox"/> Plaster/Dry Wall	4,300
<input type="checkbox"/> Paneling	
<input type="checkbox"/> Fiberglass	
<input type="checkbox"/> Unfinished	

Accommodations	Value
Total # Rooms	10
Bedrooms	3
Family Room	1
Formal Dining Room	0
Rec Room Type	
Area	
Fireplace	1
Metal Openings	1
Heating / Air Conditioning	
Central Warm Air	<input checked="" type="checkbox"/>
Hot Water or Steam	<input type="checkbox"/>
Heat Pump	<input type="checkbox"/>
Gravity/Wall/Space	<input type="checkbox"/>
Central Air Cond.	<input checked="" type="checkbox"/>

Plumbing	#	TF	Value
Full Baths	2		
Half Baths	1		
Kitchen Sink	1		
Water Heater	1		
Extra fixtures	1		
Total	11		

Remodeling & Modernization	Amount	Date
Exterior		
Interior		
Kitchen		
Bath Facilities		
Plumbing System		
Heating System		
Electrical System		
Extensions		

Replacement Cost	Value
REMODELING & MODERNIZATION	270,960
Sub-Total	225,800
Grade and Design	120
Location Multiplier	1.00

Row-Type Adjustment	Value
Total Base	173,500
Row-Type Adjustment	1.00
SUB-TOTAL	173,500

Sub-Total One Unit	Value
Sub-Total 1 Unit(s)	167,300
Garages	
Integral	
Attached Garage (+)	22,900
Basement (-)	
Exterior Features	15,600
Sub-Total	225,800

Use	Ht.	Const Type	Grd	Year Const	Effv Year	Cnd	Base Rate	Feat	Adj Rate	Size or Area	LCM	No. Un.	Rpic Cost	Dep Obs	REM Val %	Nbhd Fctr	Trend Fctr	Improvement Value	
Dwelling		Brick	B	2006	2006	A	39.70	2	56.35	3804	1.00	1	270960	15	230320	100	2.02	1.00	463200
Swimming Pool	0	Pfb	B	2020	2020	A	39.70	2	56.35	20x40	1.00	1	54090	10	48680	100	2.02	1.00	98300

SUMMARY OF IMPROVEMENTS

Card Improvement Total	563500
Total Improvement Value	563500

Parcel Number 022-05040-01 | **Transfer of Ownership** | **Year** 2023 | **Card 1**

County BOONE, IN | **Name** HOWARD MATHEW R & TIFFANY M

Township PERRY | **Address** 3516 E 400 S

District | **Plat** | **Map** 06-07-22-000-025.001-027

Property Class 511 | **Property Address** 3516 E 400 S

Tax District 1022 Perry/Lebanon | **Neighborhood** 8500-perry res acreage-8500

VALUATION RECORD

Assessment Year	2023	2022	2021
Reason for Change			
Land	32,000	32,000	32,000
Improvements	0	0	0
Total Land	35,500	35,500	35,500
Total Improvements	465,200	405,500	351,500
Total Assessed Value:	563,500	494,900	428,300
Total Assessed Value:	599,000	530,400	463,800

Property Sub Class: RES ONE FAMILY UNPLAT 0-9.99-511 | **PRINTED FROM BOONE COUNTY, INDIANA**

LAND DATA AND COMPUTATIONS

Land Type	Actual Frontage	Effective Frontage	Effective Depth	Factor	Base Rate	Adjusted Rate	Estimated Value	Influence Factor	Land Value
9			1.000	1.00	32000.00	32000.00	32000		32000
91			0.580		6000.00	6000.00	3480		3480
82			0.100		1900.00	1900.00	190	0.100	0
Total Acreage 1.68									
Total Residential Land Value								35500	
Total Non-Residential Land Value								0	
Total Land Value								35500	

Memorandum

2024 pay 2025 reassessment field review - added utility shed
 2020-0269 6/1/20 POOL \$80,000 added pool

2020 pay 2021 updated per reassessment review-no change
 2016 pay 2017 no changes per field review
 12/13 UPDATED PER REASSESSMENT

Land Type

- F Front Lot
- R Rear Lot
- 1 Comm, Ind Land
- 11 Primary
- 12 Secondary
- 13 Undeveloped Usable
- 14 Undeveloped Unusable
- 2 Classified Land
- 3 Undeveloped Land
- 4 Tillable Land
- 5 Non-Tillable Land
- 6 Woodland
- 7 Other Farmland
- 8 Ag Support Land
- 81 Legal Ditch
- 82 Public Road
- 83 Utility Trans, Tower
- 9 Homeste
- 91 Res. Excess Acres
- 92 Ag Excess Acres
- Influence Factors
- 0 Other
- 1 Topography
- 2 Under Improved
- 3 Excess Frontage
- 4 Shape or Size
- 5 MIsImprovement
- 6 Restrictions
- 7 Traffic Flow
- 8 View
- 9 Corner Infl.